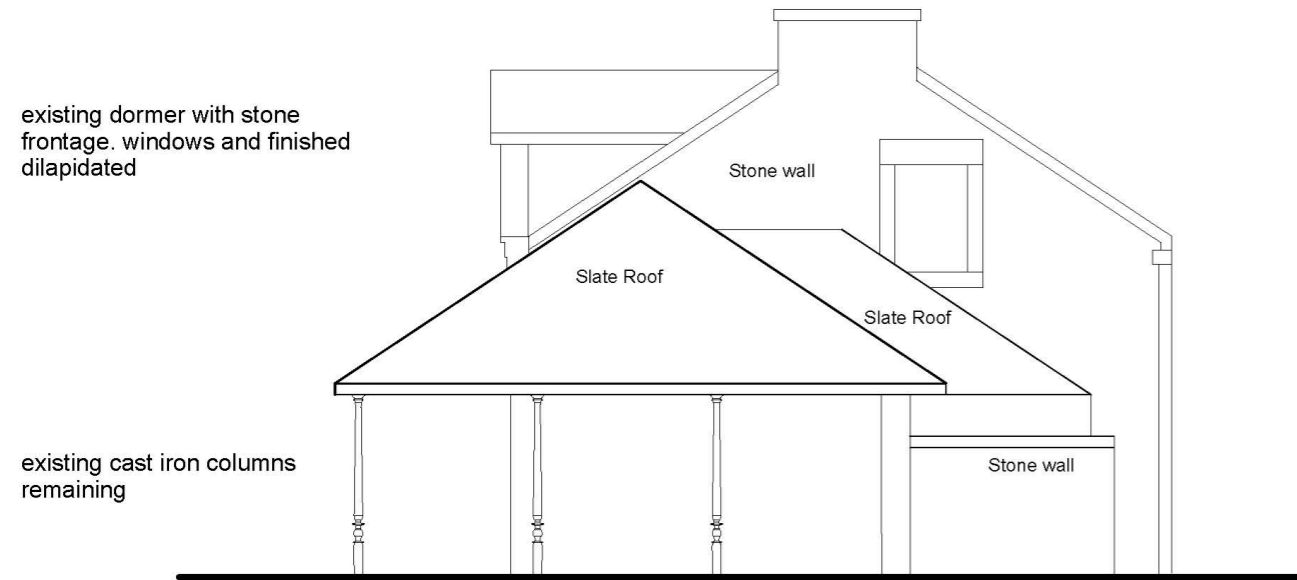


**EXISTING NORTH ELEVATION**



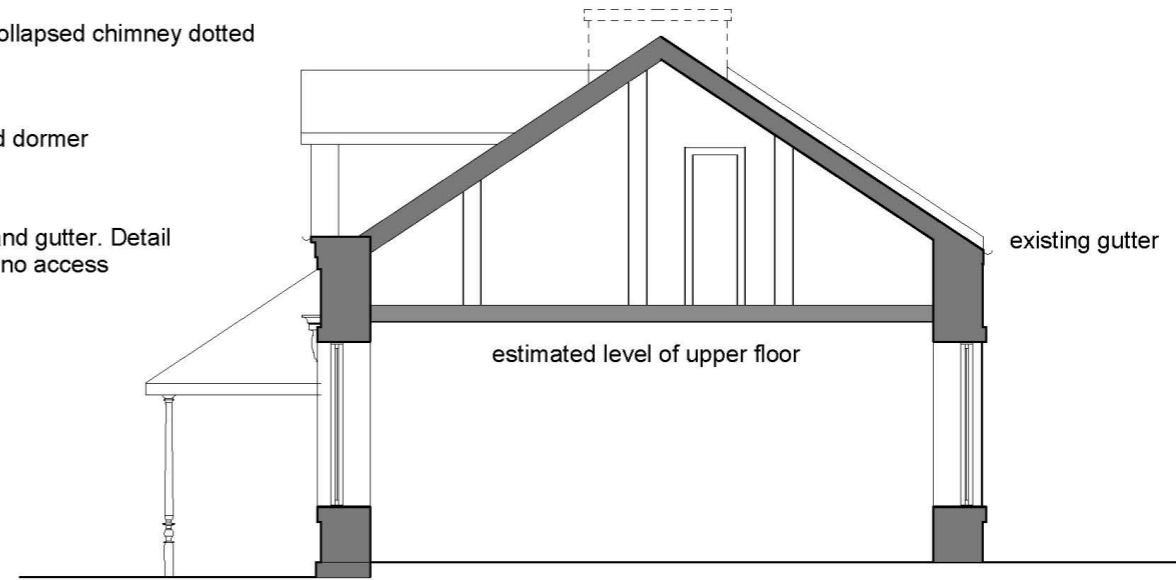
**EXISTING EAST ELEVATION**

previous line of collapsed chimney dotted

existing slate clad dormer

existing cornice and gutter. Detail estimated due to no access

cornice to door



**EXISTING SECTION A-A**  
internal layout estimated as no access available - dangerous building

**GENERAL NOTES**

Existing Farmhouse deemed Dangerous Building

All timber elements including roof, floors, wall linings have been exposed to long term water ingress and fire damage. All deemed to be unusable for use in an inhabitet structure and to be removed. Slates to be retained for re-use where possible dependant on slate condition.


Stonework to be surveyed prior to site start to assess extent of replacement/indenting. Stonework to be retained where structurally sound.

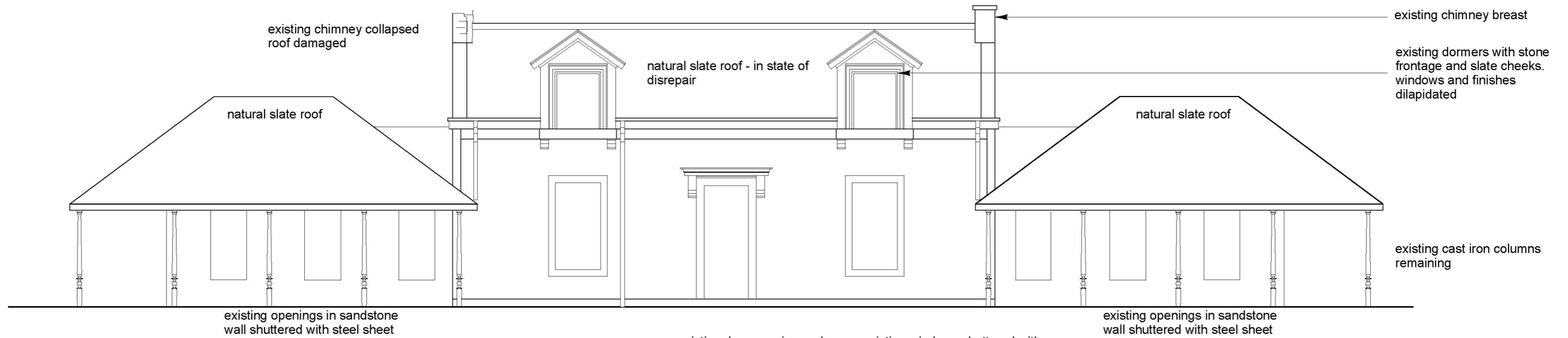
Existing upper floors inaccessible due to flooring structural collapse.

no windows remaining in condition which would allow salvage.

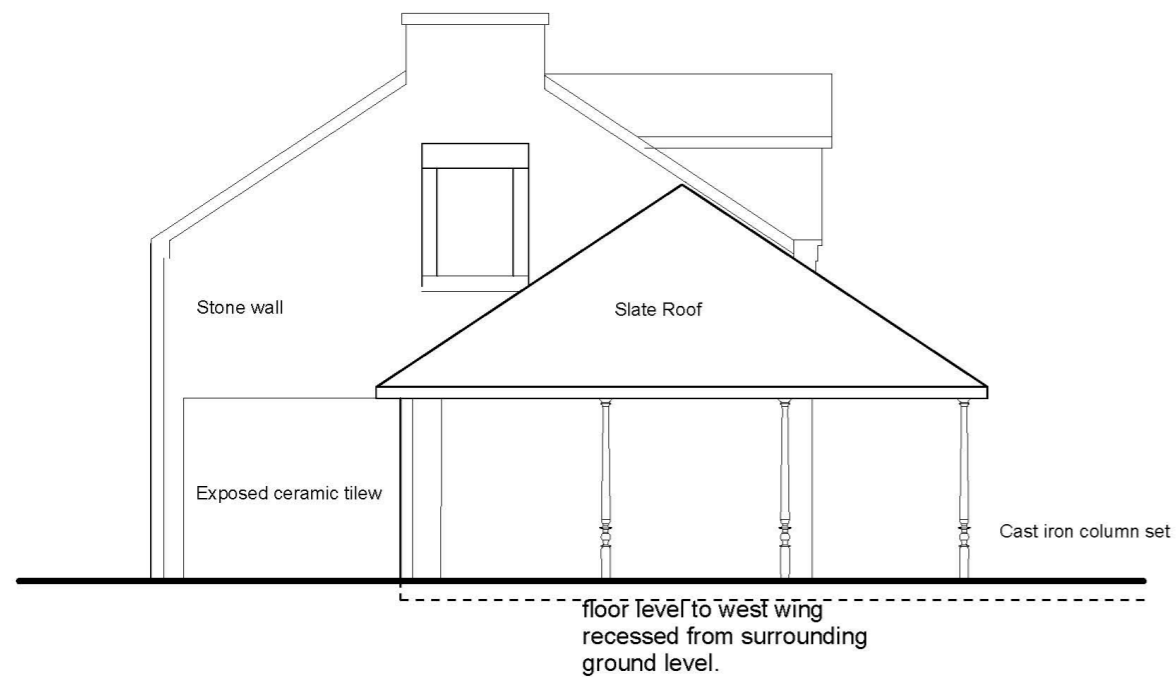
Internal plasterwork and cornicework where reamining saturated beyond repair. No access to ground floor to fully assess due to structural instability above.

All shutters and existing security measures omitted for clarity

notes DO NOT SCALE FROM DRAWING			 139 Stockwell St   Glasgow   G1 4LR   T 0141 553 1103 info@do-architecture.co.uk   F 0141 553 1109		
			<b>Job Title</b> Fairfield Farm for The LUV Project and Linthouse Housing Association		
			<b>Drawing Title</b> Fairfield Farmhouse Existing Elevations North and East		
Scale 1:100 @ A3		Drawn by ER	Checked by - AC		
Rev. No. (06)01	Drawing No. (EX) 20	Rev.			



**EXISTING SOUTH ELEVATION**



**EXISTING WEST ELEVATION**

**GENERAL NOTES**

Existing Farmhouse deemed Dangerous Building

All timber elements including roof, floors, wall linings have been exposed to long term water ingress and fire damage. All deemed to be unusable for use in an inhabit structure and to be removed. Slates to be retained for re-use where possible dependant on slate condition.

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Existing upper floors inaccessible due to flooring structural collapse.

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Internal plasterwork and cornicework where remaining saturated beyond repair. No access to ground floor to fully assess due to structural instability above.

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Rev.	Date	Note	Drawn by
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notes  
**DO NOT SCALE FROM DRAWING**  
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 All drainage work to be carried out in consultation with the Local Authority Inspectors and to be tested to the satisfaction of the Local Authority.

Cast iron column set



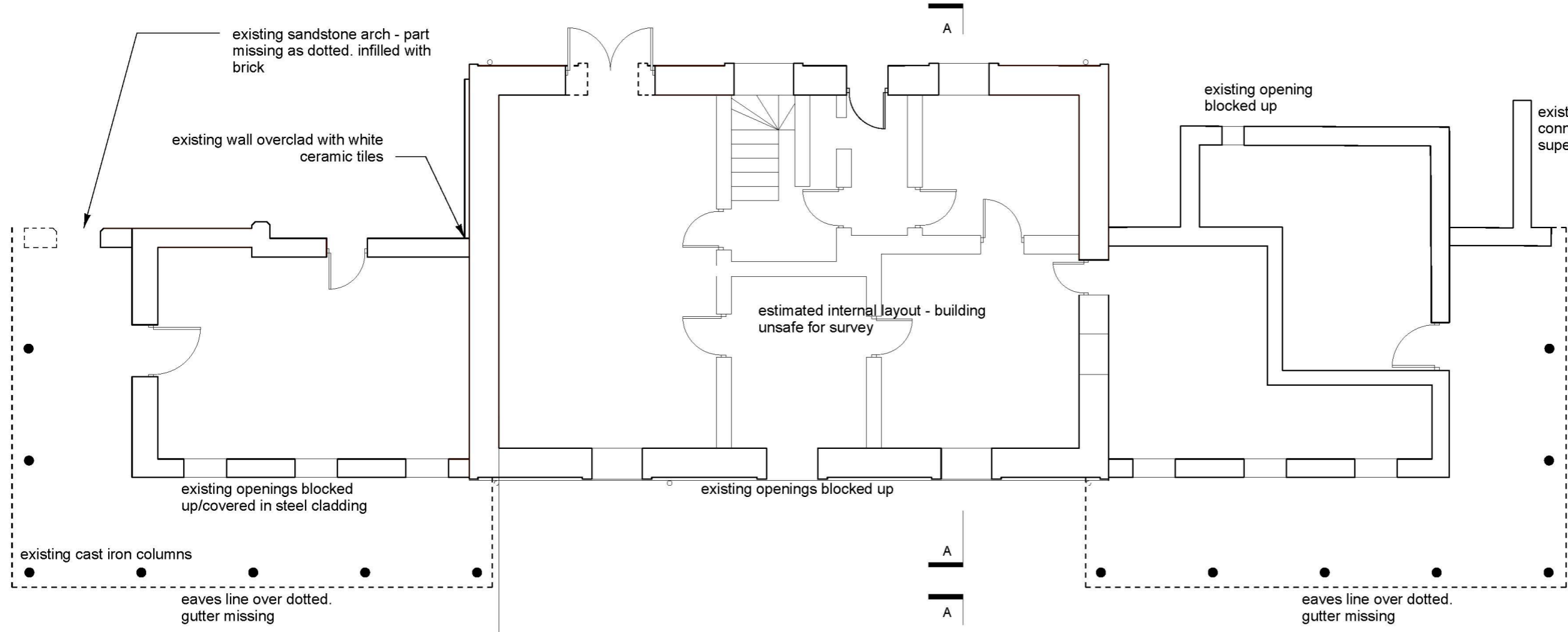
**Job Title** Fairfield Farm  
for The LUV Project  
and Linthouse Housing Association

**Drawing Title** Fairfield Farmhouse  
Existing Elevation South and West

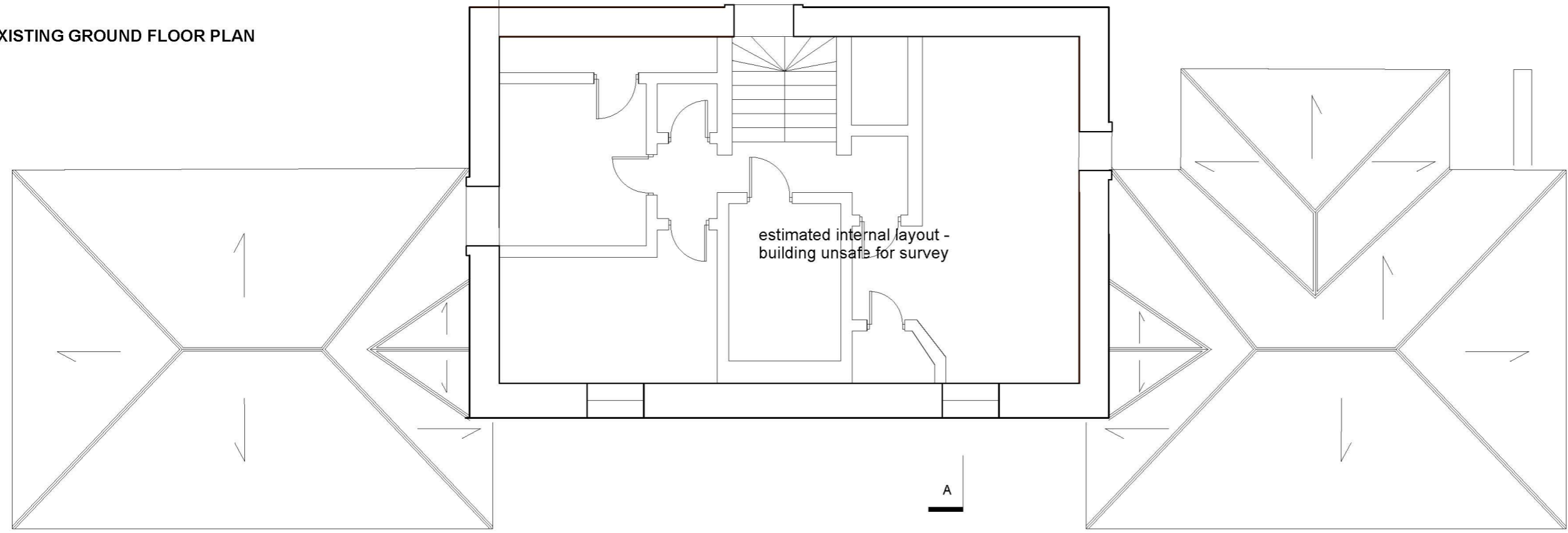
**Scale** 1:100 @ A3 **Drawn by** ER **Checked by** AC

**Job No.** (06)01 **Drawing No.**(EX) 21 **Rev.**

existing steel doors. original window opening cut down and widened to accommodate. part remaining over



EXISTING GROUND FLOOR PLAN



EXISTING UPPER FLOOR PLAN

Rev.	Date	Note	Drawn by
-	-	-	-

notes

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Cast iron column set

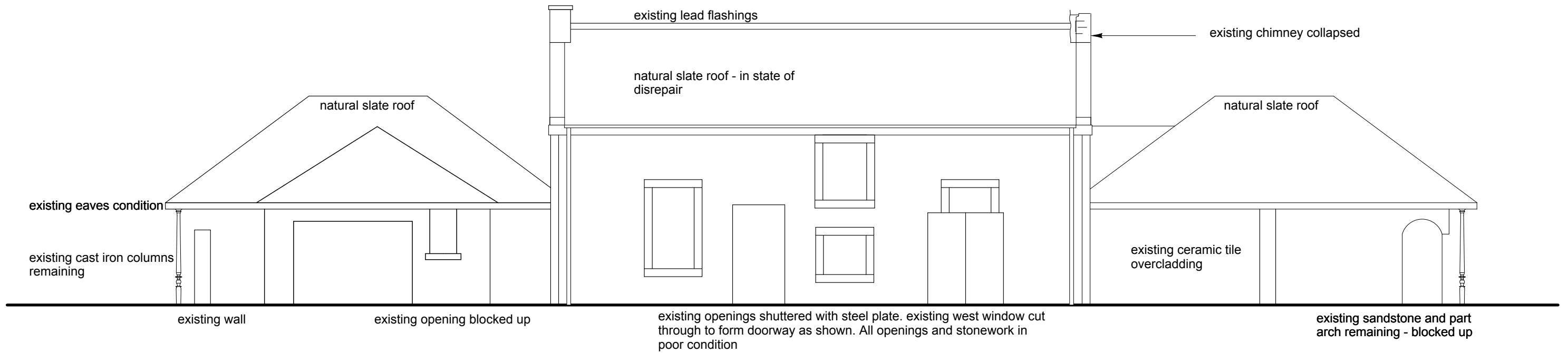
139 Stockwell St | Glasgow | G1 4LR | T 0141 553 1103  
info@do-architecture.co.uk | F 0141 553 1109

**do**

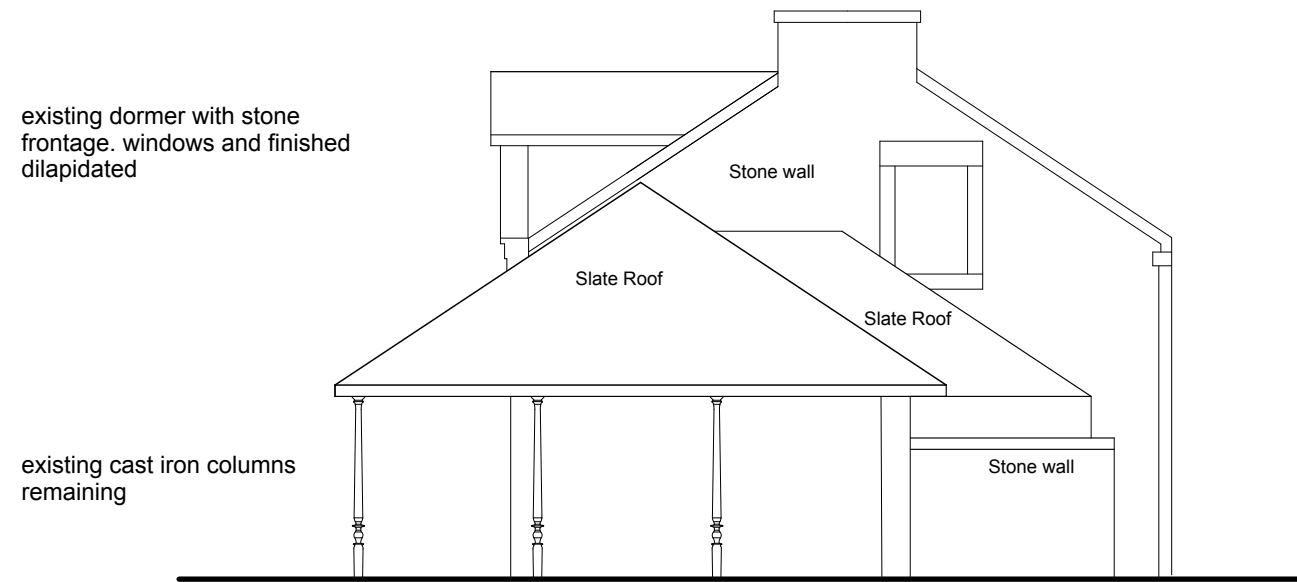
Job Title Fairfield Farm for The LUV Project and Linthouse Housing Association

Drawing Title Fairfield Farmhouse Plans as Existing

Scale 1:100 @ A3	Drawn by ER	Checked by - AC
Job No. (06)01	Drawing No.(EX) 10	Rev.



**EXISTING NORTH ELEVATION**



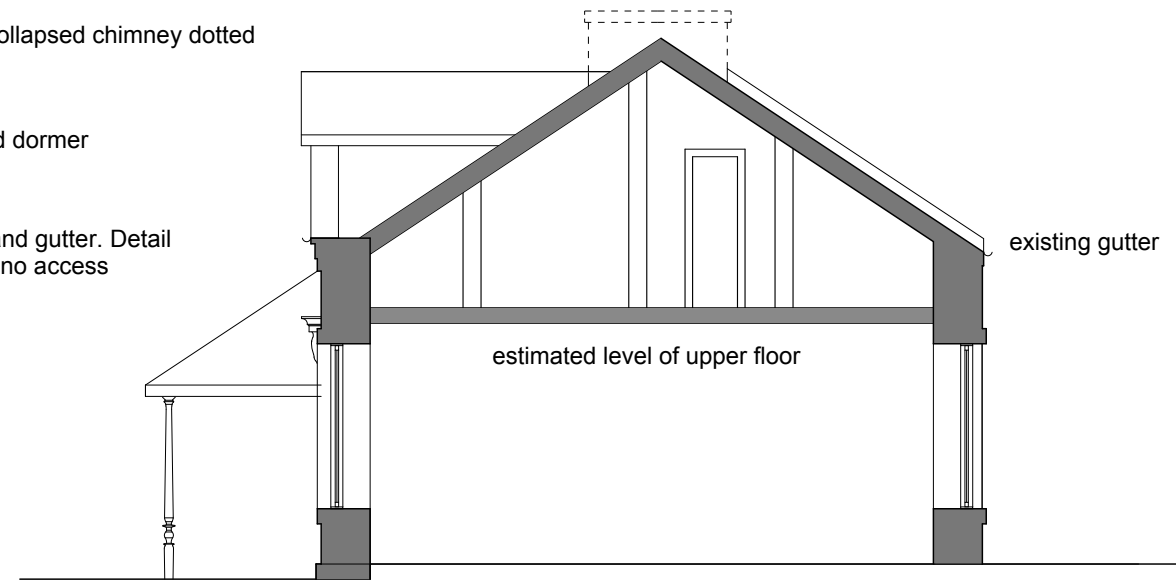
**EXISTING EAST ELEVATION**

previous line of collapsed chimney dotted

existing slate clad dormer

existing cornice and gutter. Detail estimated due to no access

cornice to door



**EXISTING SECTION A-A**

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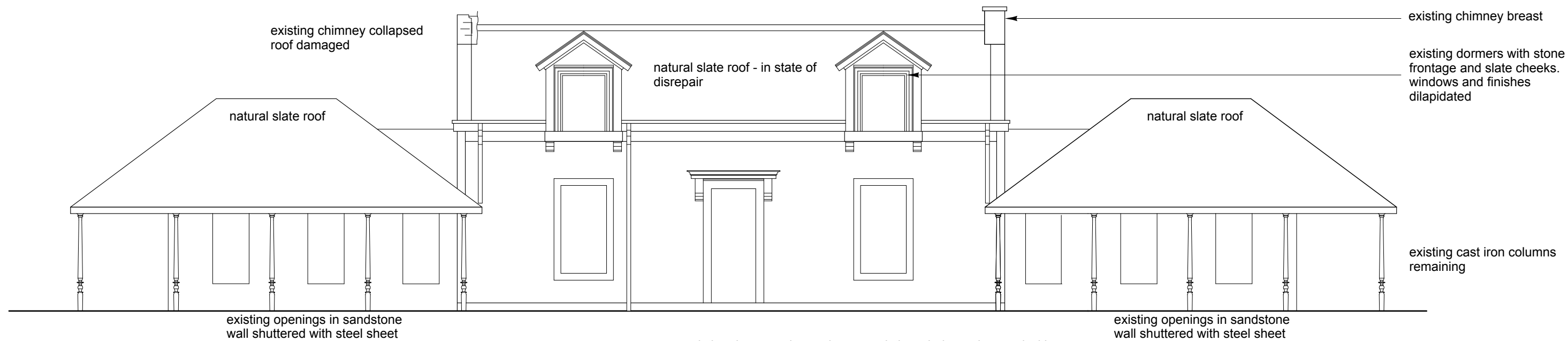
Existing upper floors inaccessible due to flooring structural collapse.

no windows remaining in condition which would allow salvage.

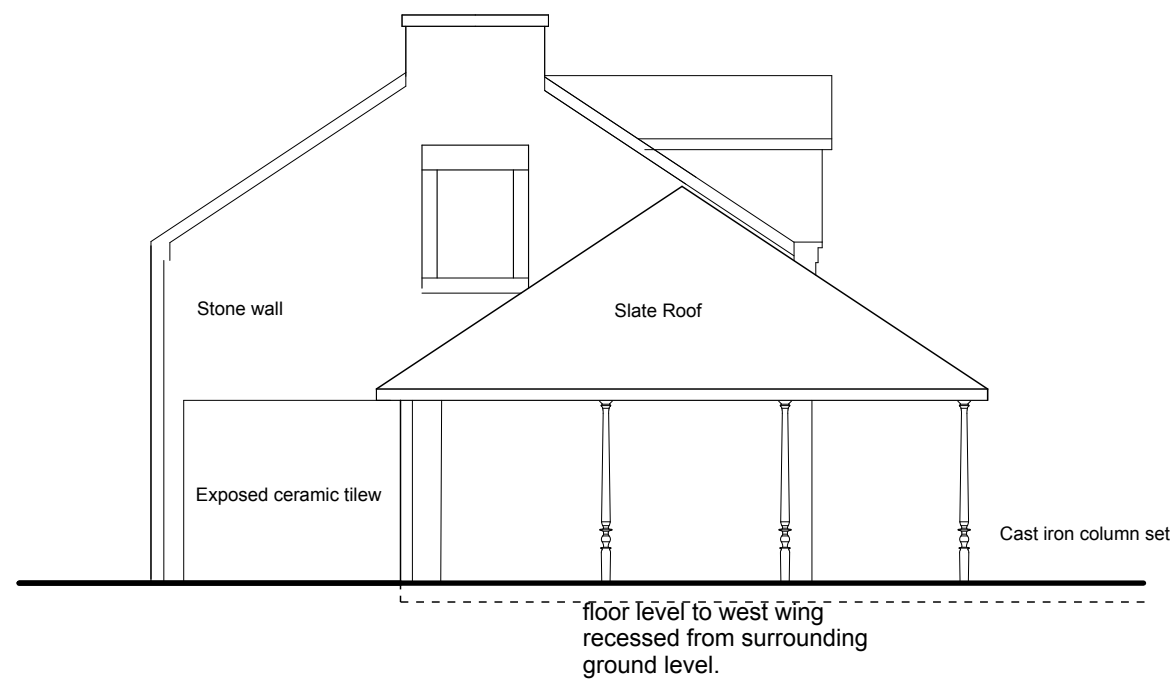
Internal plasterwork and cornicework where reamining saturated beyond repair. No access to ground floor to fully assess due to structural instability above.

All shutters and existing security measures omitted for clarity

notes <b>DO NOT SCALE FROM DRAWING</b>			 139 Stockwell St   Glasgow   G1 4LR   T 0141 553 1103 info@do-architecture.co.uk   F 0141 553 1109
Job Title Fairfield Farm for The LUV Project and Linthouse Housing Association			
Drawing Title Fairfield Farmhouse Existing Elevations North and East			Scale 1:100 @ A3 Drawn by ER Checked by - AC
Rev. Date	Note	Drawn by	Job No. (06)01 Drawing No. (EX) 20 Rev.



**EXISTING SOUTH ELEVATION**



**EXISTING WEST ELEVATION**

**GENERAL NOTES**

Existing Farmhouse deemed Dangerous Building

All timber elements including roof, floors, wall linings have been exposed to long term water ingress and fire damage. All deemed to be unusable for use in an inhabit structure and to be removed. Slates to be retained for re-use where possible dependant on slate condition.

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Rev. Date	Note	Drawn by
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Cast iron column set



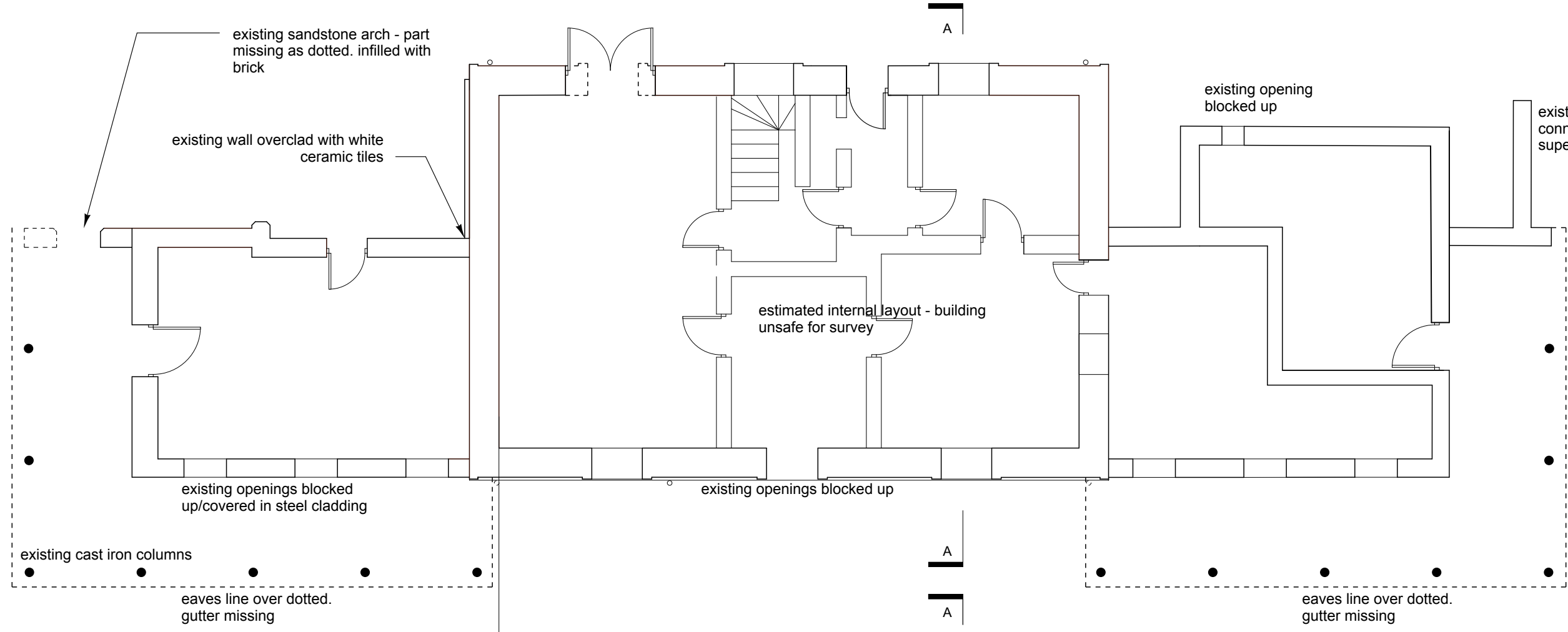
**Job Title** Fairfield Farm  
for The LUV Project  
and Linthouse Housing Association

**Drawing Title** Fairfield Farmhouse  
Existing Elevation South and West

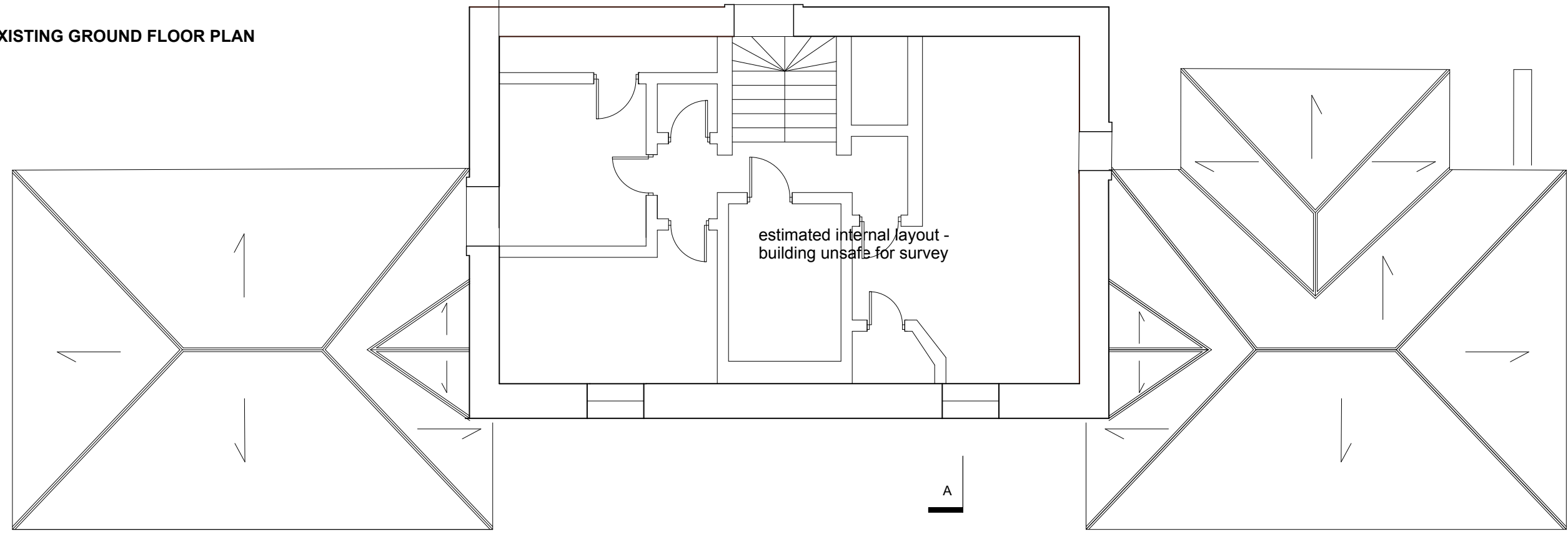
**Scale** 1:100 @ A3 **Drawn by** ER **Checked by** AC

**Job No.** (06)01 **Drawing No.** (EX) 21 **Rev.**

existing steel doors. original window opening cut down and widened to accommodate. part remaining over



EXISTING GROUND FLOOR PLAN



EXISTING UPPER FLOOR PLAN


Rev.	Date	Note	Drawn by

notes  
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Cast iron column set

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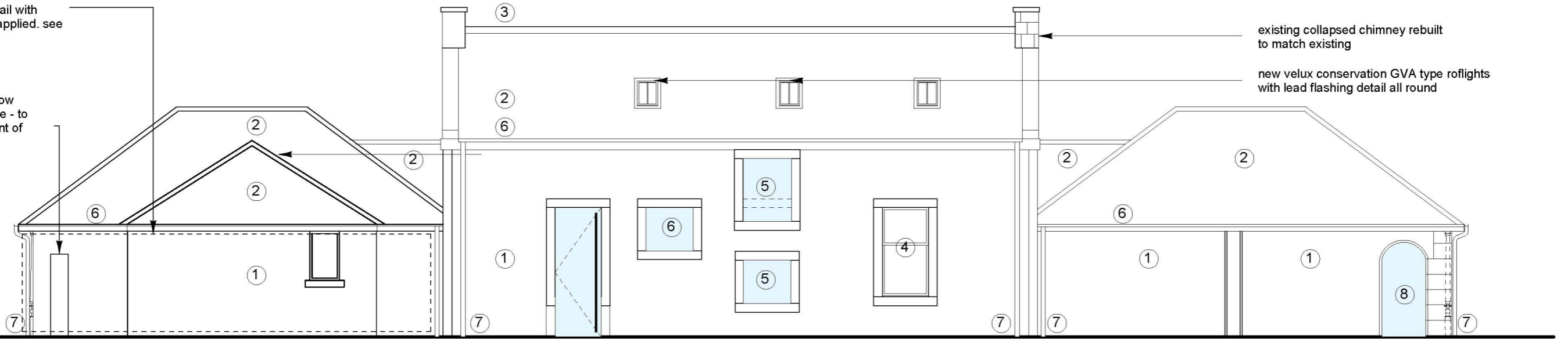
**Job Title** Fairfield Farm  
 for The LUV Project  
 and Linthouse Housing Association

**Drawing Title** Fairfield Farmhouse  
 Plans as Existing

<b>Scale</b> 1:100 @ A3	<b>Drawn by</b> ER	<b>Checked by</b> - AC
<b>Job No.</b> (06)01	<b>Drawing No.</b> (EX) 10	<b>Rev.</b>

automatic site gate to be housed against wall - shown dotted for clarity. gate to be in metal with supergraphics/signage applied. see site plan and sections

existing wall cut back to allow operation of site sliding gate - to rest on open position in front of farmhouse wind as dotted



PROPOSED NORTH ELEVATION

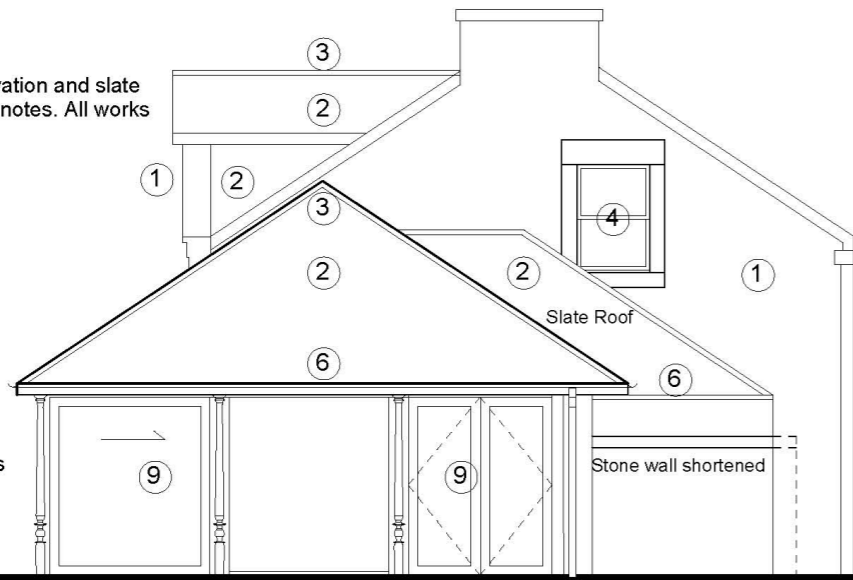
new timber framed fixed light

new entrance - existing window sill cut down. New stone mouldings at low level to reveals to match existing over. Framless glass door with black powder coated handle

existing ceramic tile removed. stone repaired behind

existing arch rebuilt to match existing. new frameless glazing to opening

Dormer retained. stone to elevation and slate to cheeks renewed as general notes. All works to match existing



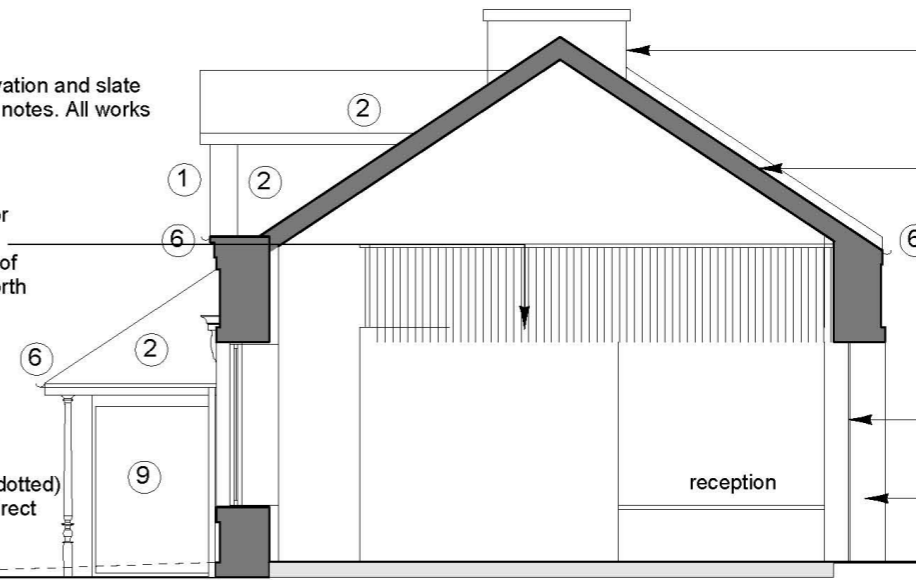
existing cast iron columns retained

existing wall cut back to allow operation of site sliding gate - to rest on open position in front of farmhouse cafe wing as dotted

Dormer retained. stone to elevation and slate to cheeks renewed as general notes. All works to match existing

existing floor removed - new mezzanine level - floor level to be lowered from existing floor level to level of head of windows to the North Elevation

external surface to be ramped (dotted) to meet internal floor level. no direct connection to existing stone of Farmhouse. Granite surface



existing collapsed chimney rebuilt to match existing

roof structure renewed to match existing. slates re-used where possible. new concealed steel structure within roof if required. roof insulated between rafters

new frameless glazed door

existing stone reveal detail replicated at low level

internal ground floor to be removed and replaced with insulated concrete ground bearing slab, with granite finish over to match farmyard.


PROPOSED EAST ELEVATION

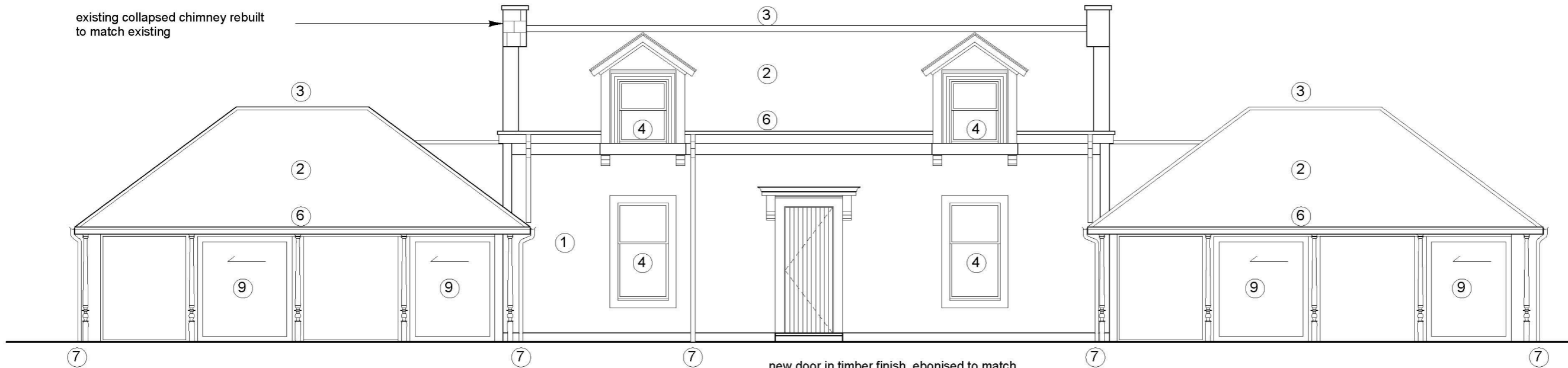
PROPOSED SECTION

LEGEND

1. Existing/repared sandstone
2. Re-used/new slate to match existing
3. New Code 4 lead flashings
4. New painted timber sliding sash and case windows in existing openings. internal sliding timber shutters
5. Frameless glazing in existing opening
6. Frameless glazing in new opening with sandstone detailing to reveals to match existing
6. Cast iron Ogee gutter
7. Cast iron downpipes
8. existing arch rebuilt in sandstone to match existing- frameless glass double glazed window fitted to arch
9. New glazing to wings - timber framed ebonised double glazed units with sliding sections. High quality Stainless steel woven mesh security shutters to be installed above eaves level in front of glazing for use when building is not operational

notes  
DO NOT SCALE FROM DRAWING

15-12-2008		ER	 139 Stockwell St   Glasgow   G1 4LR   T 0141 553 1103 info@do-architecture.co.uk   F 0141 553 1109
Rev. Date	Note	Drawn by	
Job Title Fairfield Farm for The LUV Project and Linthouse Housing Association			Drawing Title Fairfield Farmhouse Proposed North and East Elevations. Section
Scale 1:100 @ A3 Drawn by AC Checked by - JW			
Job No. (06)01 Drawing No. (PE) 20 Rev.			© DO-Architecture Ltd.



## PROPOSED SOUTH ELEVATION

### WORKS TO EXISTING FARMHOUSE - GENERAL NOTES

All timber and internal fittings and finishes are beyond salvage and are to be removed due to water ingress and fire damage. Existing stone shell to be retained.

Stone to be surveyed prior to construction to assess extent of stone replacement/indents. New stone to be matched to existing stone to Planning Departments satisfaction. Existing cement based mortar to be hacked out and replaced with lime mortar. Scottish lime centre to be consulted to confirm appropriate mortar match for replacement.

Existing slate to be removed and retained where possible for re-use. New slate to be matched to existing to the satisfaction of the Planning Department. Salvaged Scots slate to be used if matching and available.

Unless noted otherwise on the elevations, New windows to existing stone openings within the existing farmhouse building to be timber sliding sash double glazed units, paint finish.

Existing Cast iron Columns to be removed from site, tested and treated (paint to be removed by shot firing, cast iron to receive preservative paint treatment), then reinstalled on site on new foundations. New eaves beam to be installed over to carry new roof structure.

New steel structure to be installed, concealed behind linings to stabilise existing stone structure. New roof structure to be timber. Roof structure to wings to be installed on existing repaired columns. structure to allow for open void to ridge line - no timber ties at eaves level.

All new rainwater goods to be in cast iron. Ogee gutters to be used, painted black. Cast iron round downpipes.

All windows to Farmhouse to have internal or external shutters for security purposes. Existing window openings to Farmhouse to have internal lockable timber shutters. Door to rear of Farmhouse to have internal electronic security shutter. Windows to both wings to be set back to allow installation of stainless steel woven mesh electronic shutters externally, fixed above line of existing eaves fascia board. Shutters to close behind line of existing columns. Rails to shutters to be in black powder coated steel fixed to black window frames.

Existing floor to farmhouse to be grubbed up to allow for structural works. New insulated concrete floor installed with granite finish to match farmyard finish. Floor to have recesses with glazed cover (as floor finish) to allow display of artefacts from Glasgow City Council Open Museum relating to Govans History.

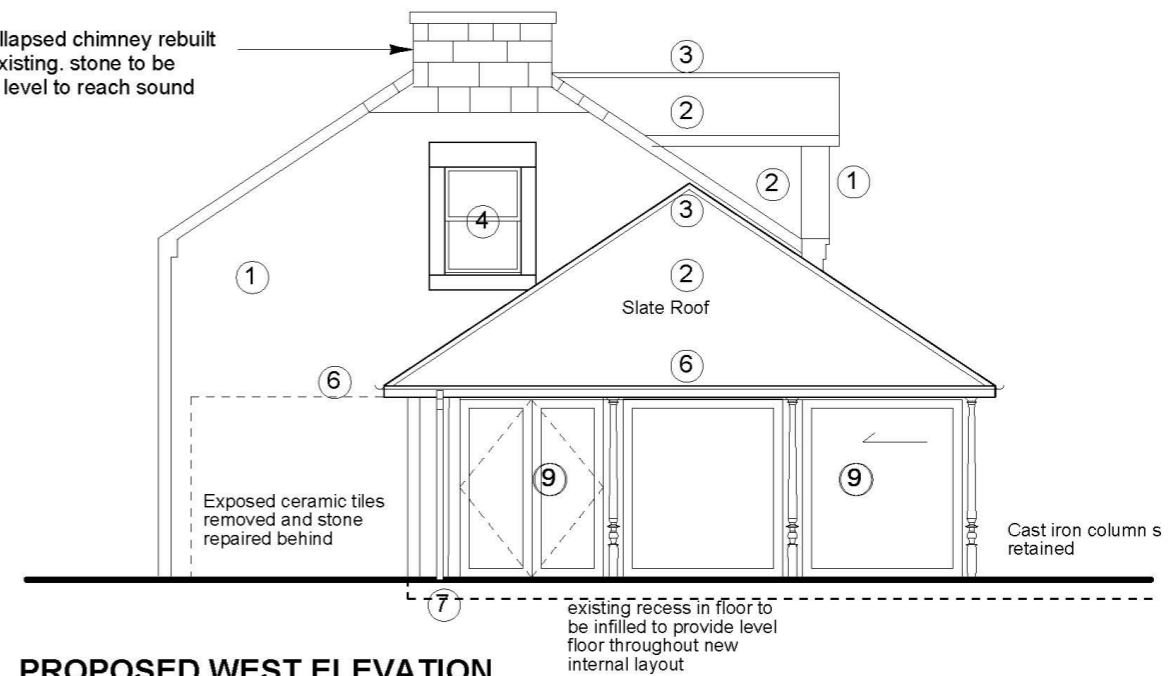
All external walls to Farmhouse to be insulated with insulated plasterboard - required under building regulations. Plasterboard to conceal any structural ties required to stabilise existing stone structure

### LEGEND


1. Existing/repaired sandstone
2. Re-used/new slate to match existing
3. New Code 4 lead flashings
4. New painted timber sliding sash and case windows in existing openings. internal sliding timber shutters
5. Frameless glazing in existing opening
6. Frameless glazing in new opening with sandstone detailing to reveals to match existing
6. Cast iron Ogee gutter
7. Cast iron downpipes
8. existing arch rebuilt in sandstone to match existing- frameless glass double glazed window fitted to arch
9. New glazing to wings - timber framed ebonised double glazed units with sliding sections. High quality Stainless steel woven mesh security shutters to be installed above eaves level in front of glazing for use when building is not operational

new door in timber finish, ebonised to match outhouse.  
Ground to rise locally to meet internal floor level to Farmhouse - at existing moulding level as shown. ramped surface not to connect to stone.

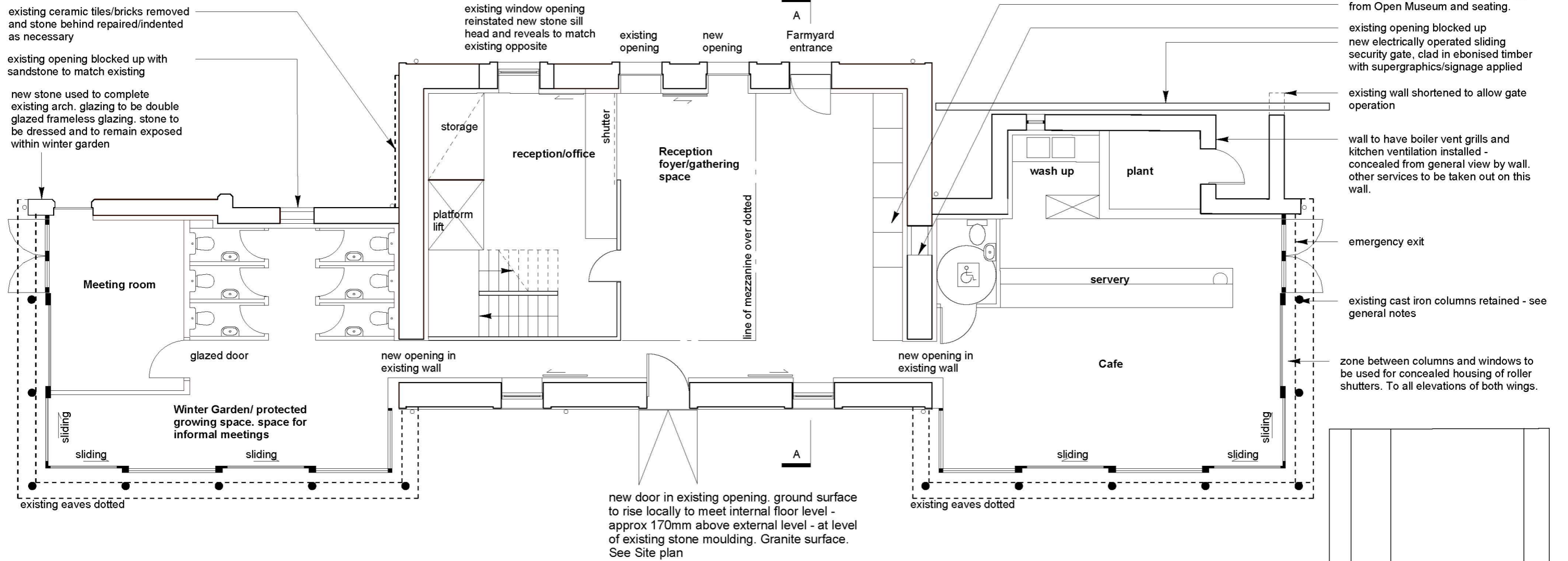
existing collapsed chimney rebuilt to match existing. stone to be reduced in level to reach sound stonework



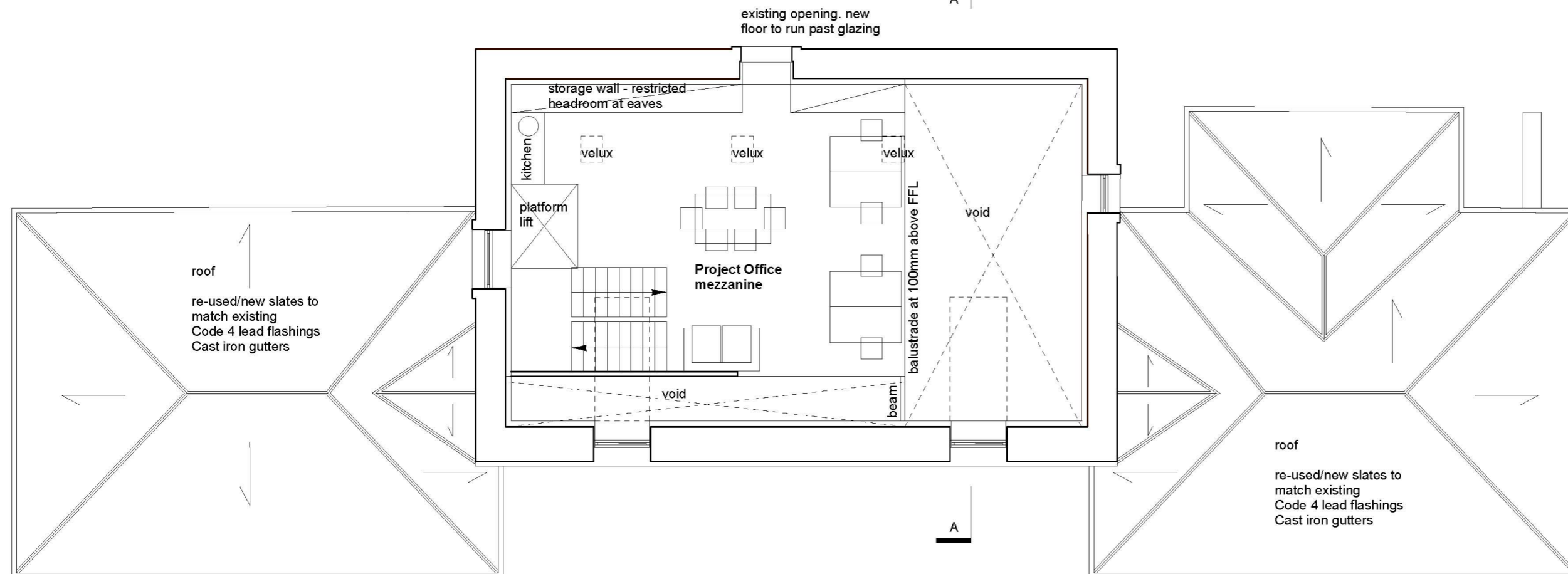
## PROPOSED WEST ELEVATION

15-12-2008		ER	notes DO NOT SCALE FROM DRAWING	 139 Stockwell St   Glasgow   G1 4LR   T 0141 553 1103 info@do-architecture.co.uk   F 0141 553 1109
Rev. Date	Note	Drawn by	Job Title Fairfield Farm for The LUV Project and Linthouse Housing Association	
			Drawing Title Fairfield Farmhouse Proposed South and West Elevations.	Scale 1:100 @ A3 Drawn by AC Checked by - JW
			Job No. (06)01 Drawing No. (PE) 21 Rev.	© DO-Architecture Ltd.





PROPOSED GROUND FLOOR PLAN



PROPOSED UPPER FLOOR PLAN

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Rev.	Date	Note	Drawn by

notes

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**do**

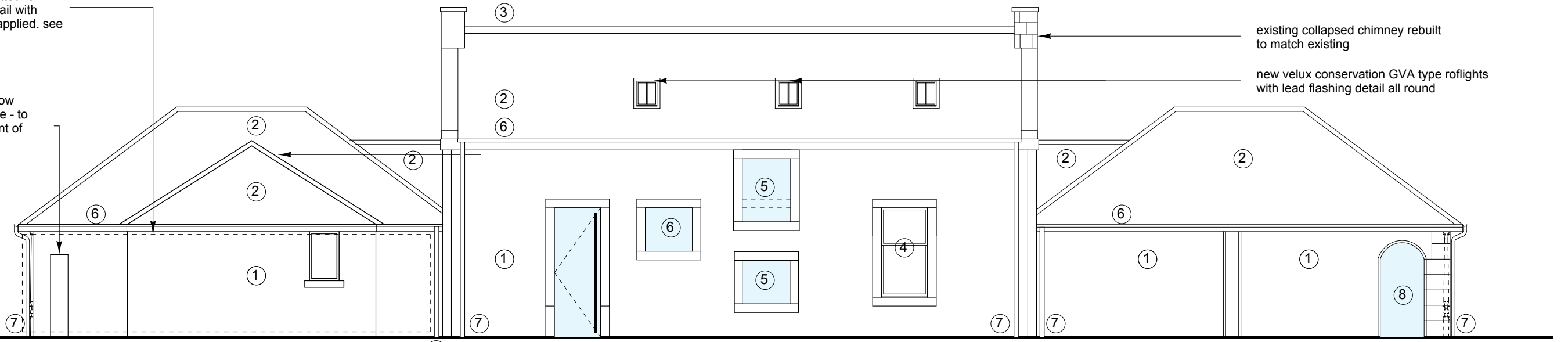
Job Title Fairfield Farm  
for The LUV Project  
and Linthouse Housing Association

Drawing Title Fairfield Farmhouse  
Proposed Plans

Scale 1:100 @ A3	Drawn by AC	Checked by - JW
Job No. (06)01	Drawing No.(PL) 10	Rev.

automatic site gate to be housed against wall - shown dotted for clarity. gate to be in metal with supergraphics/signage applied. see site plan and sections

existing wall cut back to allow operation of site sliding gate - to rest on open position in front of farmhouse wind as dotted



**PROPOSED NORTH ELEVATION**

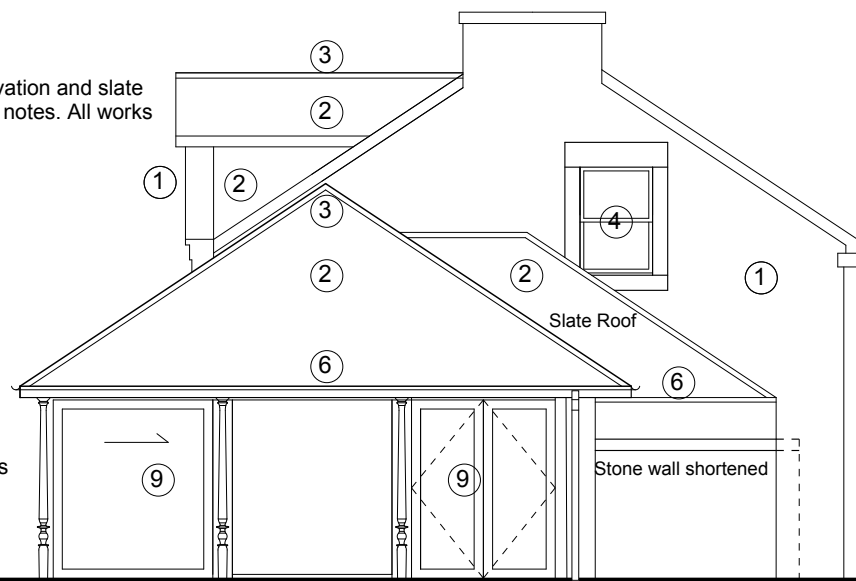
new timber framed fixed light

new entrance - existing window sill cut down. New stone mouldings at low level to reveals to match existing over. Framless glass door with black powder coated handle

existing ceramic tile removed. stone repaired behind

existing arch rebuilt to match existing. new frameless glazing to opening

Dormer retained. stone to elevation and slate to cheeks renewed as general notes. All works to match existing



existing cast iron columns retained

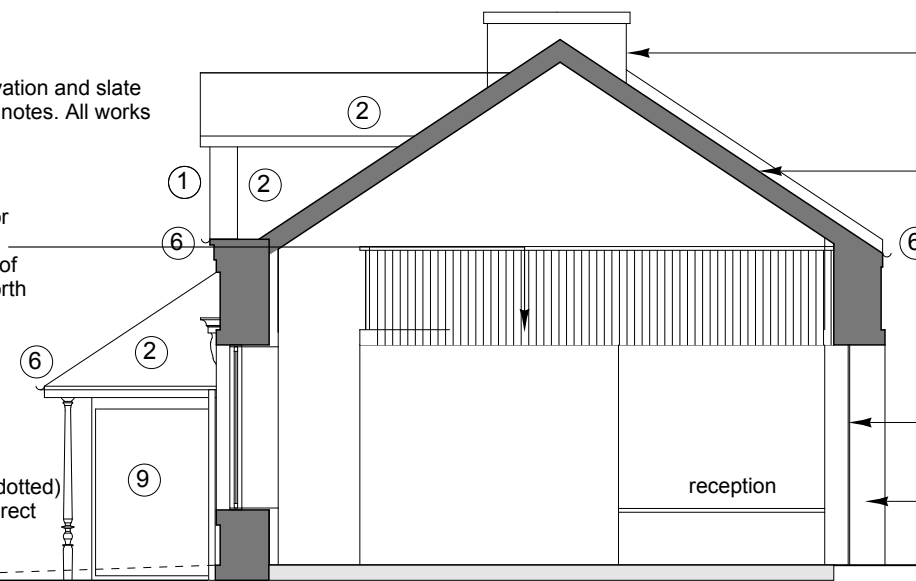
existing wall cut back to allow operation of site sliding gate - to rest on open position in front of farmhouse cafe wing as dotted

**PROPOSED EAST ELEVATION**

Dormer retained. stone to elevation and slate to cheeks renewed as general notes. All works to match existing

existing floor removed - new mezzanine level - floor level to be lowered from existing floor level to level of head of windows to the North Elevation

external surface to be ramped (dotted) to meet internal floor level. no direct connection to existing stone of Farmhouse. Granite surface



**PROPOSED SECTION**

internal ground floor to be removed and replaced with insulated concrete ground bearing slab, with granite finish over to match farmyard.

existing collapsed chimney rebuilt to match existing


roof structure renewed to match existing. slates re-used where possible. new concealed steel structure within roof if required. roof insulated between rafters

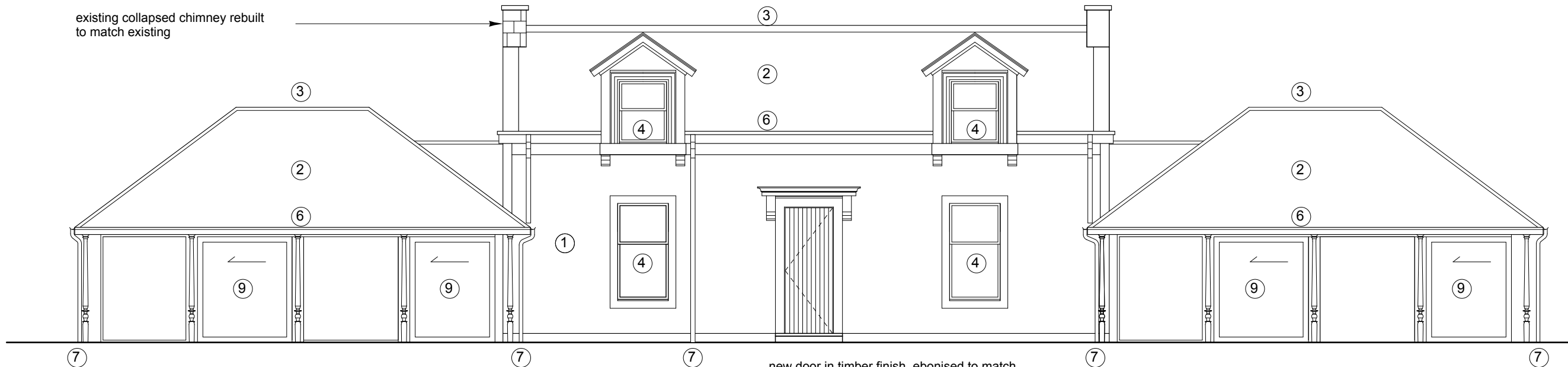
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existing stone reveal detail replicated at low level

**LEGEND**

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15-12-2008		ER		notes <b>DO NOT SCALE FROM DRAWING</b>	 <p>139 Stockwell St   Glasgow   G1 4LR   T 0141 553 1103 info@do-architecture.co.uk   F 0141 553 1109</p> <p><b>Job Title</b> Fairfield Farm for The LUV Project and Linthouse Housing Association</p> <p><b>Drawing Title</b> Fairfield Farmhouse Proposed North and East Elevations, Section</p> <p><b>Scale</b> 1:100 @ A3 <b>Drawn by</b> AC <b>Checked by</b> JW</p> <p><b>Job No.</b> (06)01 <b>Drawing No.</b> (PE) 20 <b>Rev.</b></p>
Rev. Date	Note	Drawn by			



## PROPOSED SOUTH ELEVATION

### WORKS TO EXISTING FARMHOUSE - GENERAL NOTES

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Unless noted otherwise on the elevations, New windows to existing stone openings within the existing farmhouse building to be timber sliding sash double glazed units, paint finish.

Existing Cast iron Columns to be removed from site, tested and treated (paint to be removed by shot firing, cast iron to receive preservative paint treatment), then reinstalled on site on new foundations. New eaves beam to be installed over to carry new roof structure.

New steel structure to be installed, concealed behind linings to stabilise existing stone structure. New roof structure to be timber. Roof structure to wings to be installed on existing repaired columns. structure to allow for open void to ridge line - no timber ties at eaves level.

All new rainwater goods to be in cast iron. Ogee gutters to be used, painted black. Cast iron round downpipes.

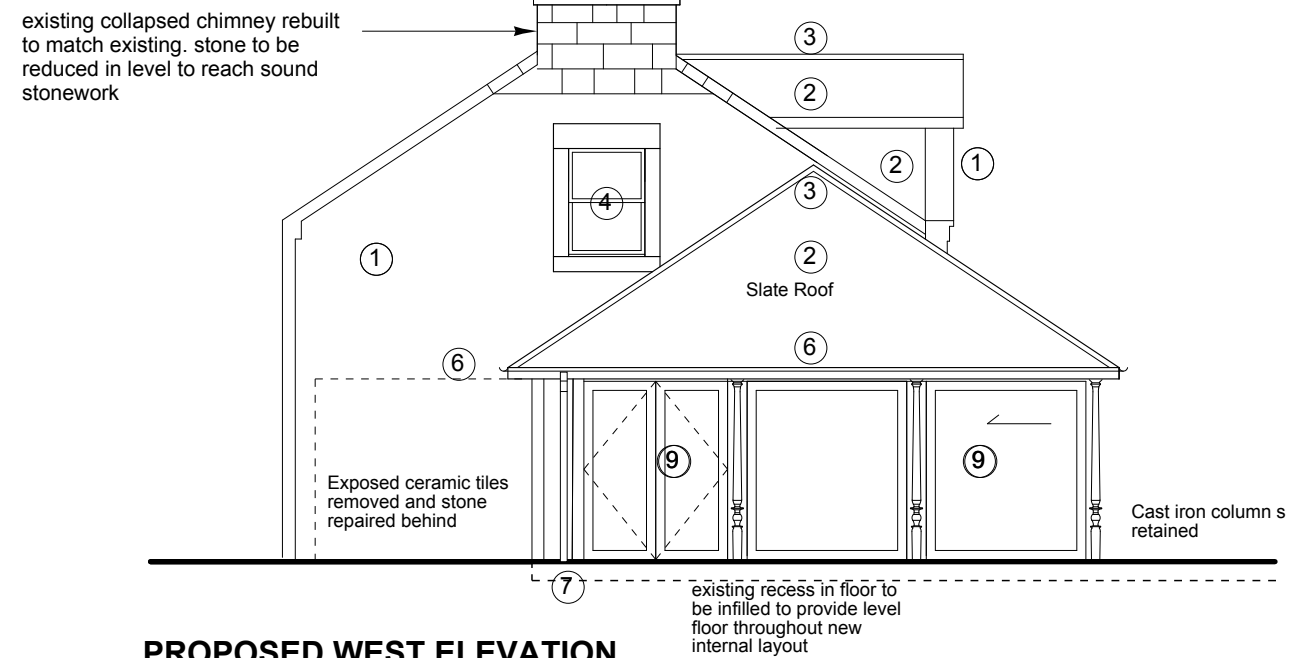
All windows to Farmhouse to have internal or external shutters for security purposes. Existing window openings to Farmhouse to have internal lockable timber shutters. Door to rear of Farmhouse to have internal electronic security shutter. Windows to both wings to be set back to allow installation of stainless steel woven mesh electronic shutters externally, fixed above line of existing eaves fascia board. Shutters to close behind line of existing columns. Rails to shutters to be in black powder coated steel fixed to black window frames.

Existing floor to farmhouse to be grubbed up to allow for structural works. New insulated concrete floor installed with granite finish to match farmyard finish. Floor to have recesses with glazed cover (as floor finish) to allow display of artefacts from Glasgow City Council Open Museum relating to Govans History.


All external walls to Farmhouse to be insulated with insulated plasterboard - required under building regulations. Plasterboard to conceal any structural ties required to stabilise existing stone structure

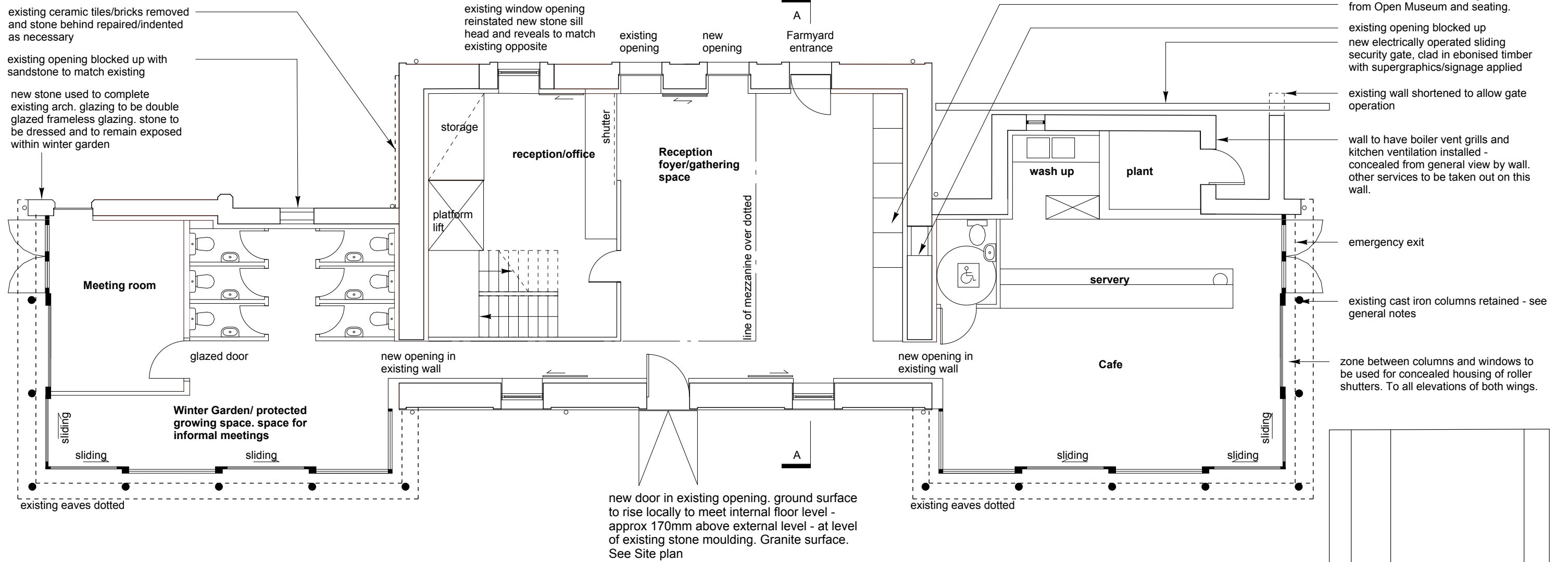
### LEGEND

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6. Cast iron Ogee gutter
7. Cast iron downpipes
8. existing arch rebuilt in sandstone to match existing- frameless glass double glazed window fitted to arch
9. New glazing to wings - timber framed ebonised double glazed units with sliding sections. High quality Stainless steel woven mesh security shutters to be installed above eaves level in front of glazing for use when building is not operational

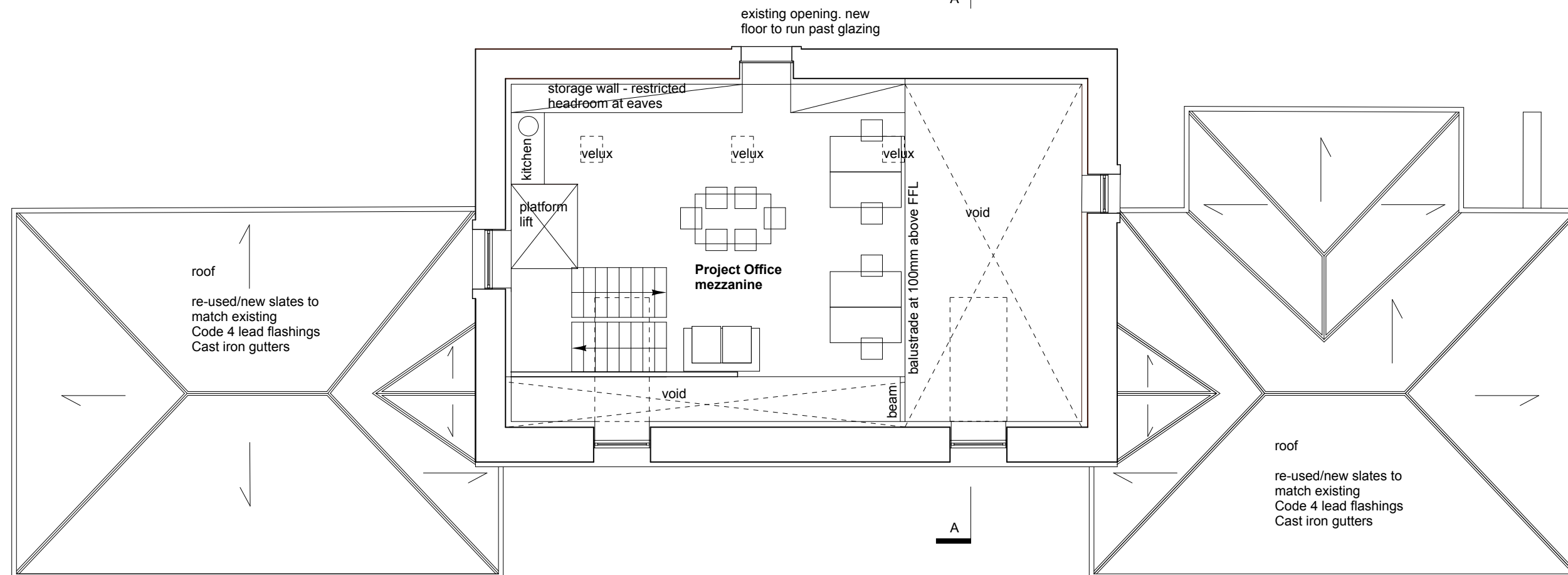


## PROPOSED WEST ELEVATION

15-12-2008		ER		notes <b>DO NOT SCALE FROM DRAWING</b>		 139 Stockwell St   Glasgow   G1 4LR   T 0141 553 1103 info@do-architecture.co.uk   F 0141 553 1109	
						<b>Job Title</b> Fairfield Farm for The LUV Project and Linthouse Housing Association	
						<b>Drawing Title</b> Fairfield Farmhouse Proposed South and West Elevations.	
						<b>Scale</b> 1:100 @ A3 <b>Drawn by</b> AC <b>Checked by</b> - JW	
						<b>Job No.</b> (06)01 <b>Drawing No.</b> (PE) 21 <b>Rev.</b>	



**PROPOSED GROUND FLOOR PLAN**



**PROPOSED UPPER FLOOR PLAN**


Rev.	Date	Note	Drawn by

notes

**DO NOT SCALE FROM DRAWING**

All dimensions to be checked on site prior to the start of any work and any discrepancies notified in writing.

Refer to Engineers' drawings for all structural, heating, lighting, power, drainage and ventilation information

All building works to comply in all respects to current Building Standards for country in which site is located.

All electrical work to be carried out in accordance with the latest edition of the Institute of Electrical Engineers Regulations and to the approval of the Local Authority.

All drainage work to be carried out in consultation with the Local Authority Inspectors and to be tested to the satisfaction of the Local Authority.

**do** 139 Stockwell St | Glasgow | G1 4LR | T 0141 553 1103  
info@do-architecture.co.uk | F 0141 553 1109

**Job Title** Fairfield Farm  
for The LUV Project  
and Linthouse Housing Association

**Drawing Title** Fairfield Farmhouse  
Proposed Plans

<b>Scale</b> 1:100 @ A3	<b>Drawn by</b> AC	<b>Checked by</b> - JW
<b>Job No.</b> (06)01	<b>Drawing No.</b> (PL) 10	<b>Rev.</b>